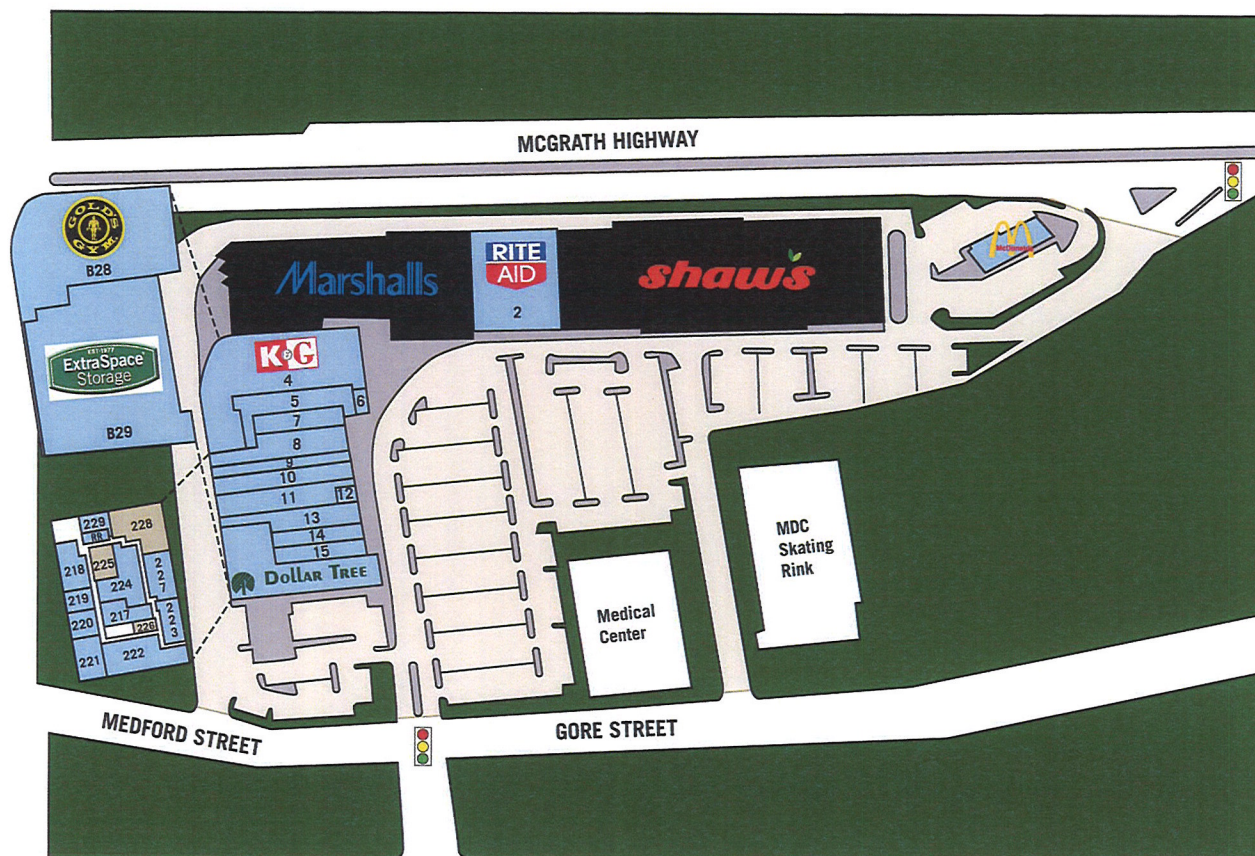


Cambridge, MA 02143

# Twin City Plaza

14 and 22 McGrath Highway



Rev. 11/08/10

Available Anchor Leased N.A.P. (Not A Part)

CENTER SIZE 285,767 SQ. FT.

## Available Space

0217 2,274 SQ. FT. | 0227 7,731 SQ. FT.

## Current Retailers

0001	SHAW'S	62,500 SQ. FT.
0002	RITE AID	16,580 SQ. FT.
0003	MARSHALLS	40,200 SQ. FT.
0004	K&G FASHION SUPERSTORE	20,539 SQ. FT.
0005	EBLENS CLOTHING & FOOTWEAR	5,500 SQ. FT.
0006	DUNKIN' DONUTS/BASKIN ROBBINS	1,064 SQ. FT.
0007	GENTLE DENTAL	2,951 SQ. FT.
0008	T-MOBILE	3,820 SQ. FT.
0009	SEW-FISTICATED	3,462 SQ. FT.
0010	MATTRESS GIANT	3,000 SQ. FT.
0011	DOTS	5,700 SQ. FT.
0012	BANK OF AMERICA - ATM	195 SQ. FT.
0013	PEARLE VISION	2,200 SQ. FT.
0014	SALLY BEAUTY SUPPLY	1,825 SQ. FT.
0015	SUPERCUTS	1,857 SQ. FT.
0016	DOLLAR TREE	11,070 SQ. FT.
0218	INK TEC ZONE	2,848 SQ. FT.
0219	NEVILLE COMPANIES	1,618 SQ. FT.
0220	WEIGHT WATCHERS	1,431 SQ. FT.
0221	NORTH SUFFOLK MENTAL HEALTH	2,659 SQ. FT.
0222	COMMUNITIES FOR PEOPLE	5,278 SQ. FT.
0223	REAL-TIME INNOVATIONS	1,995 SQ. FT.
0224	CHARTER REALTY & DEVELOPMENT CO.	1,544 SQ. FT.
0229	STERLING CONSTRUCTION	836 SQ. FT.
0500	MCDONALD'S	0 SQ. FT.
0B28	GOLD'S GYM	26,391 SQ. FT.
0B29	EXTRA SPACE STORAGE	38,500 SQ. FT.
N.A.P.1	MEDICAL CENTER	0 SQ. FT.
N.A.P.2	MDC SKATING RINK	0 SQ. FT.

## Contact:

John Hricko

610.747.1205 / JohnHricko@regencycenters.com

regencycenters.com

**regencycenters**  
 > moving quality forward

This site plan is not a representation, warranty or guarantee as to size, location, identity of any tenant, the suite number, address or any other physical indicator or parameter of the property and for use as approximated information only. The improvements are subject to changes, additions, and deletions as the architect, landlord, or any governmental agency may direct or determine in their absolute discretion.



**PARKING  
SUMMARY**  
for "Twin  
City"

**regencycenters**
**USE THIS SIDE**

 Daylor ALTA 20050305, Create 2nd Floor concept plan 5/5/2010, RC leasing site plan for balance  
jdf update 11/4/2010

11/4/2010

Parking Calculation (Somerville - RC)		Parking Calculation (Somerville code by use)					
Building on Site Pl	Tenant Name	Gross SF	Seats		Net Floor Area Factor	parking Ratio	Total
PARKING PROVIDED					See note below		
	Existing Parking						639
	Total Parking Anticipated to be Provided	Total Parking Anticipated to be Provided					-639
Space 1	Shaw's	62500	RC lsg plan	Retail	80%	425	117.6
Space 2	Rite Aid	16580	RC lsg plan	Retail	80%	425	31.2
Space 3	Marshalls	40200	RC lsg plan	Retail	80%	425	75.7
Space 4	K&G Fashion	20539	RC lsg plan	Retail	80%	425	38.7
Space 5	Eblens Clothing & footwear	5500	RC lsg plan	Retail	80%	425	10.4
Space 6	Dunkin/Baskin	1064	RC lsg plan	Rest	80%	110	7.7
Space 7	Gentle Dental	2951	RC lsg plan	B-Medical	80%	400	5.9
Space 8	T-Mobile	3820	RC lsg plan	Retail	80%	425	7.2
Space 9	SEW fisticated	3462	RC lsg plan	Retail	80%	425	6.5
Space 10	Mattress Giant	3000	RC lsg plan	Retail	80%	425	5.6
Space 11	Dots	5700	RC lsg plan	Retail	80%	425	10.7
Space 12	Bank of america ATM	195	RC lsg plan	B	80%	500	0.3
Space 13	Pearl vision	2200	RC lsg plan	Retail	80%	425	4.1
Space 14	Sally Beauty Supply	1825	RC lsg plan	Retail	80%	425	3.4
Space 15	Supercuts	1857	RC lsg plan	Retail	80%	425	3.5
Space 16	Dollar Tree	11070	RC lsg plan	Retail	80%	425	20.8
2nd Floor		32242	Create plan	B	80%	500	51.6
Space 217	Vacant	1837	create plan	B	80%	500	incl above
Space 218	link Tec Zone	2291	create plan	B	80%	500	incl above
Space 219	Neville Cos.	1109	create plan	B	80%	500	incl above
Space 220	Weight Watchers	1408	create plan	B	80%	500	incl above
Space 221	North suffolk Mental Health	2168	create plan	B-Medical	80%	400	incl above
Space 222	Communities for people	4405	create plan	B	80%	500	incl above
Space 223	Real-Time innovations	1736	create plan	B	80%	500	incl above
Space 224	Charter Realty	3514	create plan	B	80%	500	incl above
Space 225	Vacant	1416	create plan	B	80%	500	incl above
Space 226	Vacant	449	create plan	B	80%	500	incl above
Space 227	Vacant	6921	create plan	B	80%	500	incl above
Space 228	Vacant	w/227	create plan	B	80%	500	incl above
Space 229	Sterling Const	w/227	create plan	B	80%	500	incl above
Space 0500	McDonalds	4134	Daylor plan	Rest	80%	110	30.1
	McDonald's Proposed Expansion in 2011 proposed	324	Bohler plan	Rest	80%	110	2.4
space B28	Gold's Gym	26391	RC lsg plan	Health club	80%	500	42.2
Space B29	Extra space storage	38500	RC lsg plan	Retail - LL	80%	1000	30.8
	Allowable SF to be converted to Rest						
Extra Parking		279066					-132.5
(" " is extra, "+" is needed							
Building SF w/o Patios							
Actual Parking ratio (Stalls on Site per 1000sf of Building)							

 Somerville (BA) Lots 2,3,4,7  
 Residence (C-2B) Cambridge lot #87  
 Open Space Cambridge Lot #30

**Somerville requiremnts:**

 Rest: 1 per 110sf; or 0.75 per employee + 1 per 4 seats  
 Retail - 1 per 425sf on Street level and

 Business/Office (non-Medical) - 1 per 500sf  
 Office (medical/Dental/Vet) - 1 per 400sf  
 Rec Center/Health Club - 1 per 500sf or 1 per 4 based on occupancy capacity

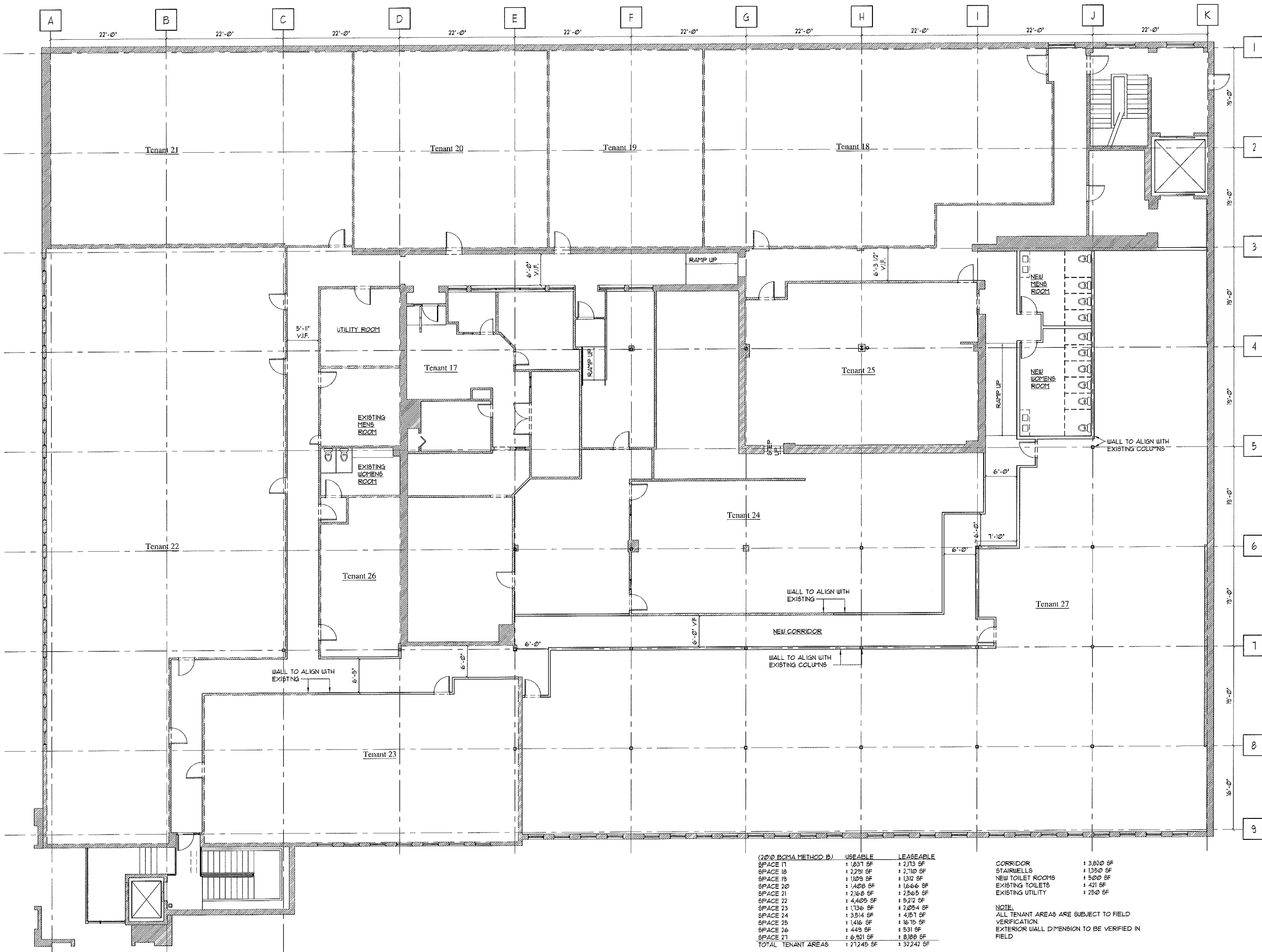
**Cambridge requirements: NA - Use Somerville**

Rest: TBD

Retail - 1 per 700sf

Business/Office - TBD

2.2.58. Floor area, net. The sum area of all floors or accessible levels of a building as measured to the perimeter of the exterior faces of the walls, including enclosed porches, but excluding areas used for accessory garage purposes, basement and cellar areas devoted exclusively to storage and mechanical uses accessory to the operation of the building, off-street loading facilities, malls, plazas, elevator shafts, escalators, stairways and stair landings, and those areas used for the storage, operation or maintenance of mechanical equipment such as air conditioning and heating apparatus. For reasons of convenience, eighty percent (80%) of the gross floor area may be used if this is deemed reasonable in the judgment of the Superintendent.



Second Floor Offices  
Twin City Plaza  
Somerville, Massachusetts

**CREATE**  
Architecture  
Planning  
& Design  
The Chrysler Building  
405 Lexington Avenue, Tower Suite 70  
New York, NY 10174  
Phone: (212) 297-0880  
Facsimile: (212) 297-0899

Owner / Developer:  
**Regency Centers**  
150 Monument Road, Suite 406  
Bala Cynwyd, PA 19004

MAY 5, 2010

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(2010 BOMA METHOD B)	USEABLE	LEASEABLE
SPACE 17	± 1,231 SF	± 2,113 SF
SPACE 18	± 2,231 SF	± 2,710 SF
SPACE 19	± 1,023 SF	± 1,312 SF
SPACE 20	± 1,428 SF	± 1,666 SF
SPACE 21	± 2,168 SF	± 2,565 SF
SPACE 22	± 4,405 SF	± 5,212 SF
SPACE 23	± 1,136 SF	± 2,054 SF
SPACE 24	± 3,514 SF	± 4,151 SF
SPACE 25	± 1,416 SF	± 1,675 SF
SPACE 26	± 443 SF	± 531 SF
SPACE 27	± 6,921 SF	± 8,188 SF
TOTAL TENANT AREAS	± 21,245 SF	± 32,242 SF

CORRIDOR ± 3,820 SF  
STAIRWELLS ± 1,350 SF  
NEW TOILET ROOMS ± 500 SF  
EXISTING TOILETS ± 421 SF  
EXISTING UTILITY ± 250 SF

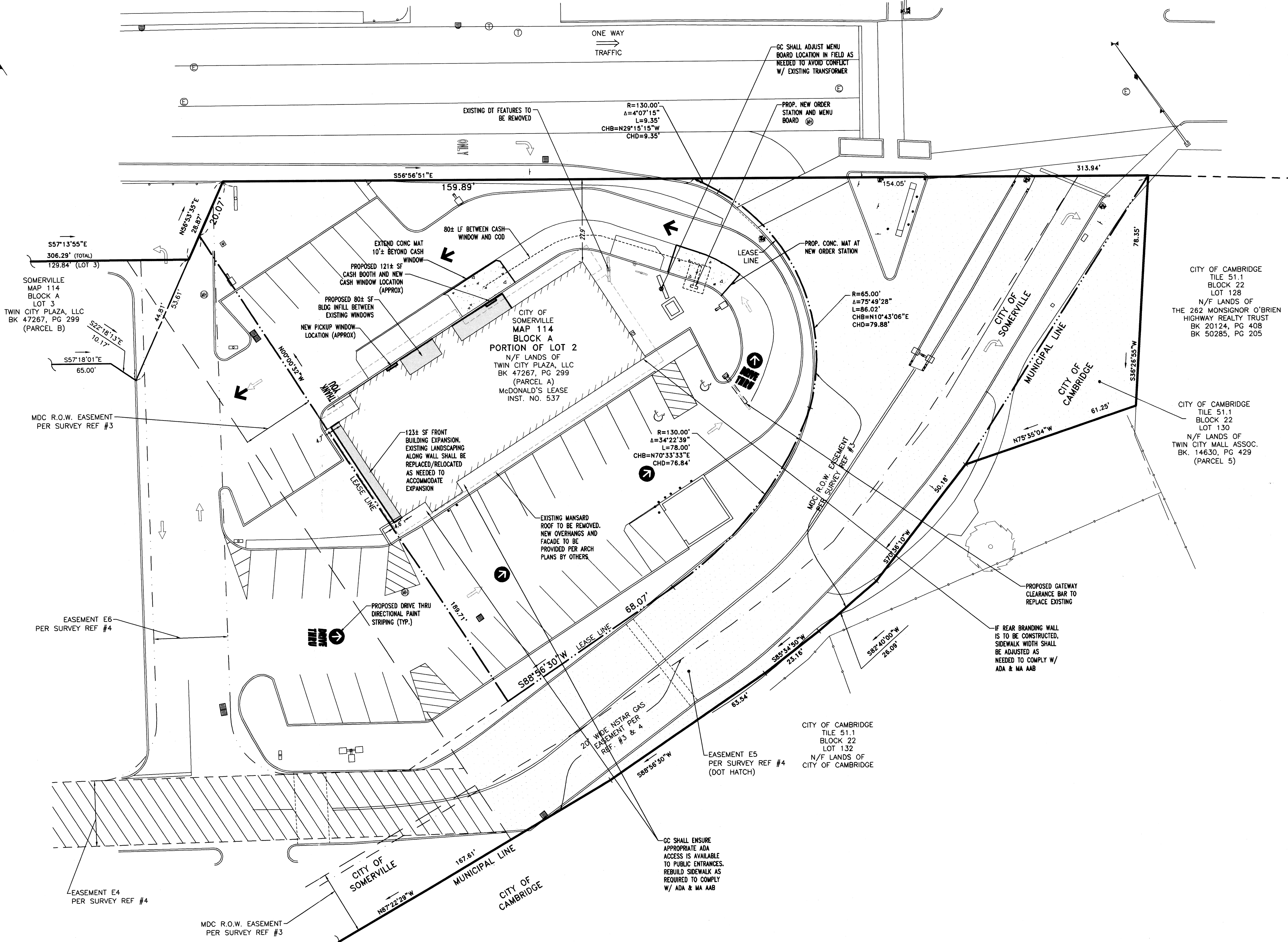
NOTE:  
ALL TENANT AREAS ARE SUBJECT TO FIELD  
VERIFICATION.  
EXTERIOR WALL DIMENSION TO BE VERIFIED IN  
FIELD

Second Floor Offices  
Lease Plan

0919 LP-101



McGRATH HIGHWAY  
(A.K.A. MASSACHUSETTS STATE HIGHWAY ROUTE 28, MSGR. McGRATH HIGHWAY))  
(PUBLIC - VARIABLE WIDTH)



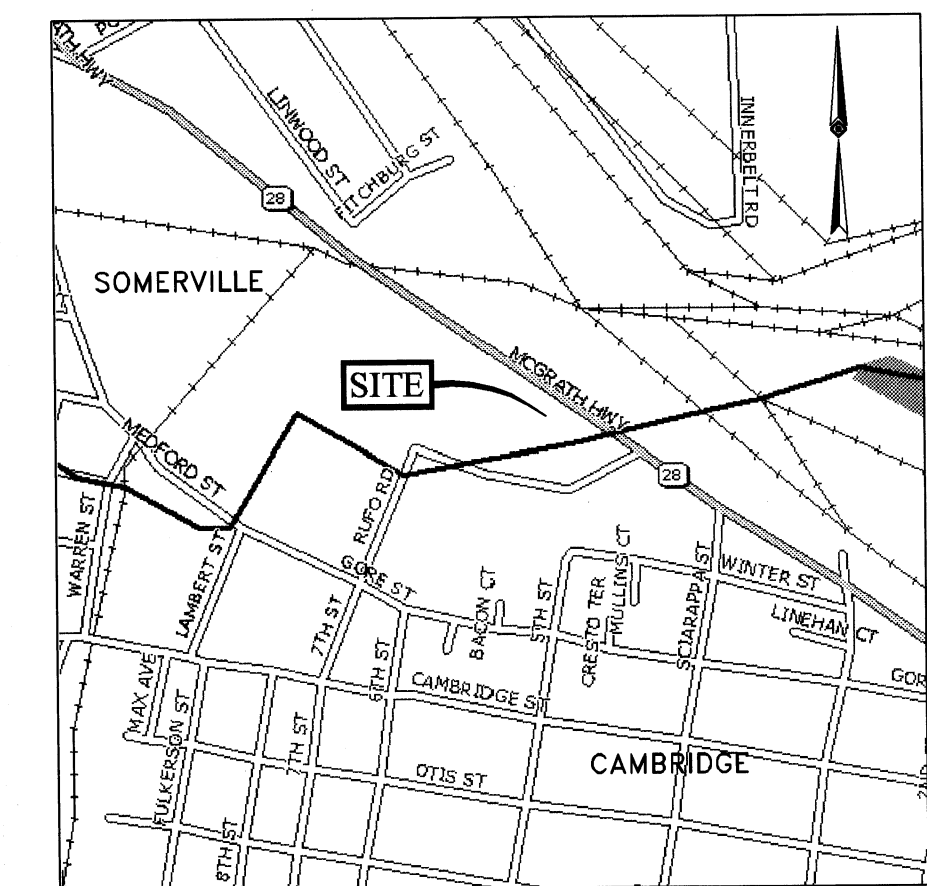
CONCEPT PLAN STANDARD GENERAL NOTES:

- THIS PLAN REFERENCES THE FOLLOWING:  
CONTROL POINT ASSOCIATES, INC.: PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY," DATED 1-08-09, SCALED 1"=20'.  
BAYLOR CONSULTING GROUP, INC.: PLAN TITLED "ALTA/ACSM LAND TITLE SURVEY," DATED 3-12-05, REVISED THRU 12-4-05, SCALED 1"=40'.  
THIS CONCEPT WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
- THE CONCEPT REPRESENTED HEREIN IDENTIFIES A DESIGN CONCEPT RESULTING FROM LAYOUT PREFERENCES IDENTIFIED BY OWNER COUPLED WITH A PRELIMINARY REVIEW OF ZONING AND LAND DEVELOPMENT REQUIREMENTS AND ISSUES THE FEASIBILITY WITH RESPECT TO OBTAINING LOCAL, COUNTY, STATE, AND OTHER APPLICABLE APPROVALS IS NOT WARRANTED AND CAN ONLY BE ASSESSED AFTER FURTHER EXAMINATION AND VERIFICATION OF SAME REQUIREMENTS AND PROCEDURE OF JURISDICTIONAL APPROVALS.
- THE CONCEPTUAL PLAN IS PREPARED FOR CONCEPTUAL PRESENTATION PURPOSES ONLY AND IS NOT INTENDED FOR UTILIZATION AS A ZONING AND/OR CONSTRUCTION DOCUMENT. THE EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON INFORMATION THAT WAS SUPPLIED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION AND MAY BE SUBJECT TO CHANGE UPON PERFORMANCE OF ADDITIONAL DUE DILIGENCE.
- REFER TO ARCHITECTURAL PLANS BY OTHERS FOR DETAILED BUILDING FACADE INFORMATION.
- PARKING CALCULATION REQUIREMENTS BASED ON LEASING PLANS PROVIDED BY REGENCY CENTERS, AND INCLUDE: PLAN TITLED "TWIN CITY PLAZA," PREPARED BY REGENCY CENTERS, DATED 11-8-10; PLAN TITLED "SECOND FLOOR LEASE PLAN," PREPARED BY CREATE, ARCHITECTURE, PLANNING AND DESIGN, DATED 5-5-10.

ZONING ANALYSIS TABLE (1)

ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT:	BA - BUSINESS ZONE FAST FOOD RESTAURANT PERMITTED BY SPECIAL PERMIT W/ DESIGN REVIEW		
MINIMUM LOT AREA	NONE	23,834 SF	NO CHANGE
MINIMUM LOT FRONTAGE	NONE	159.89-FT	NO CHANGE
MIN. FRONT SETBACK	NONE	27.9'	NO CHANGE
MIN. SIDE SETBACK	NONE	4.6'	1.4'
MIN. REAR SETBACK	10'	N/A	N/A
GROUND COVERAGE	80%	17%	18%
MIN. LANDSCAPE	10%	21%	20%
F.A.R.	2.0	0.15:1	0.16:1
BUILDING HEIGHT	50-FT	<20'	17'-11"
PARKING SPACES	507	639	NO CHANGE
PARKING CRITERIA (2)(6):	PARKING REQUIRED FOR OVERALL SHOPPING CENTER: PARKING DEMAND FOR EXISTING CONDITIONS = 504 SPACES 639 SPACES PROVIDED (SURPLUS OF 135 SPACES)  ADDITIONAL PARKING DEMAND FOR McDONALD'S 324/110 = 2.95 OR 3 ADDITIONAL SPACES  RESULTING DEMAND IN SHOPPING CENTER = 504 + 3 = 507 SPACES REQUIRED 639 SPACES PROVIDED (SURPLUS OF 132 SPACES)		

- (1) ZONING INFORMATION SHOWN FOR McDONALD'S LEASE PARCEL EXCEPT FOR PARKING DATA, WHICH IS SHOWN FOR THE OVERALL SHOPPING CENTER FOR CLARITY.
- (2) PARKING DEMAND BY USE:  
BUS./OFFICE (NON-MED): 1/500 SF NET  
OFFICE (MED./DENT./VET): 1/400 SF NET  
REST. CENTER/HEALTH CLUB: 1/200 SF NET  
RESTAURANT: 1/110 SF NET  
RETAIL: 1/425 SF NET



LOCUS MAP  
© 2008 DeLorme. Street Atlas USA

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OFFICE ADDRESS  
NORTHEAST REGION  
690 CANTON STREET  
WESTWOOD, MA 02090 (781) 329-1450

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	

CO-SIGN SIGNATURES

CONTRACTOR	OWNER

STATUS	DATE	BY
PRELIMINARY	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

DRAWN BY: MDB  
CHECKED BY: JAK  
DATE: 10/20/10  
SCALE: 1"=20'

SHEET NO.  
**C-1**  
1 OF 2

**BOHLER ENGINEERING**  
332 TURNBULL ROAD  
SOUTH BURLINGTON, MA 01772  
TEL: (800) 486-6660  
FX: (800) 486-6660  
www.bohlerengineering.com

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+ CHICAGO, IL  
+ CLEVELAND, OH  
+ DENVER, CO  
+ FORT LAUDERDALE, FL  
+ HOUSTON, TX  
+ KANSAS CITY, MO  
+ LOS ANGELES, CA  
+ MINNEAPOLIS, MN  
+ NEW YORK, NY  
+ PHOENIX, AZ  
+ RICHMOND, VA  
+ TAMPA, FL  
+ WASHINGTON, DC  
+ WICHITA, KS

CONSTRUCTION CHECK \_\_\_\_\_ DATE \_\_\_\_\_

CONSTRUCTION CHECK \_\_\_\_\_ DATE \_\_\_\_\_

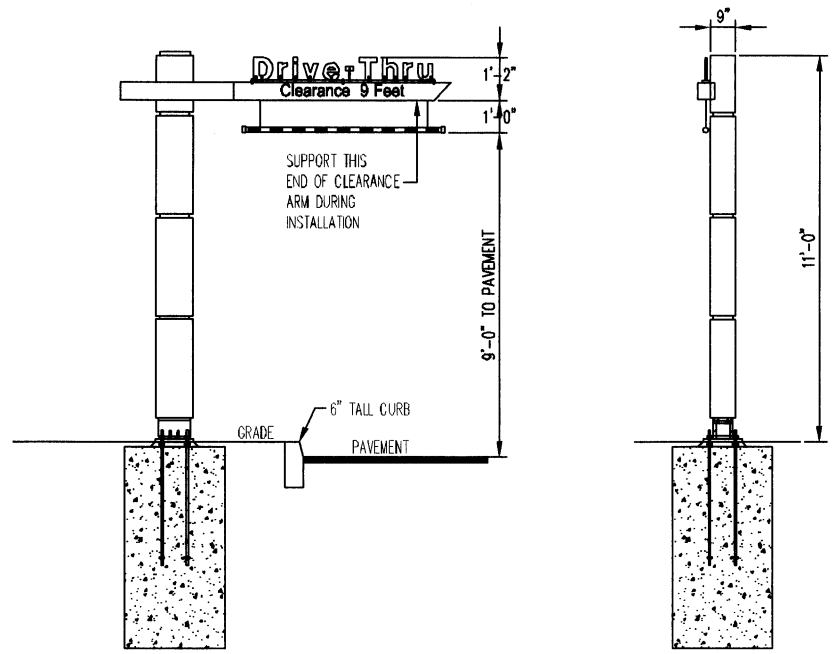
PROJECT NO: W082033

CAD I.D. #: W082033sbcc1.dwg

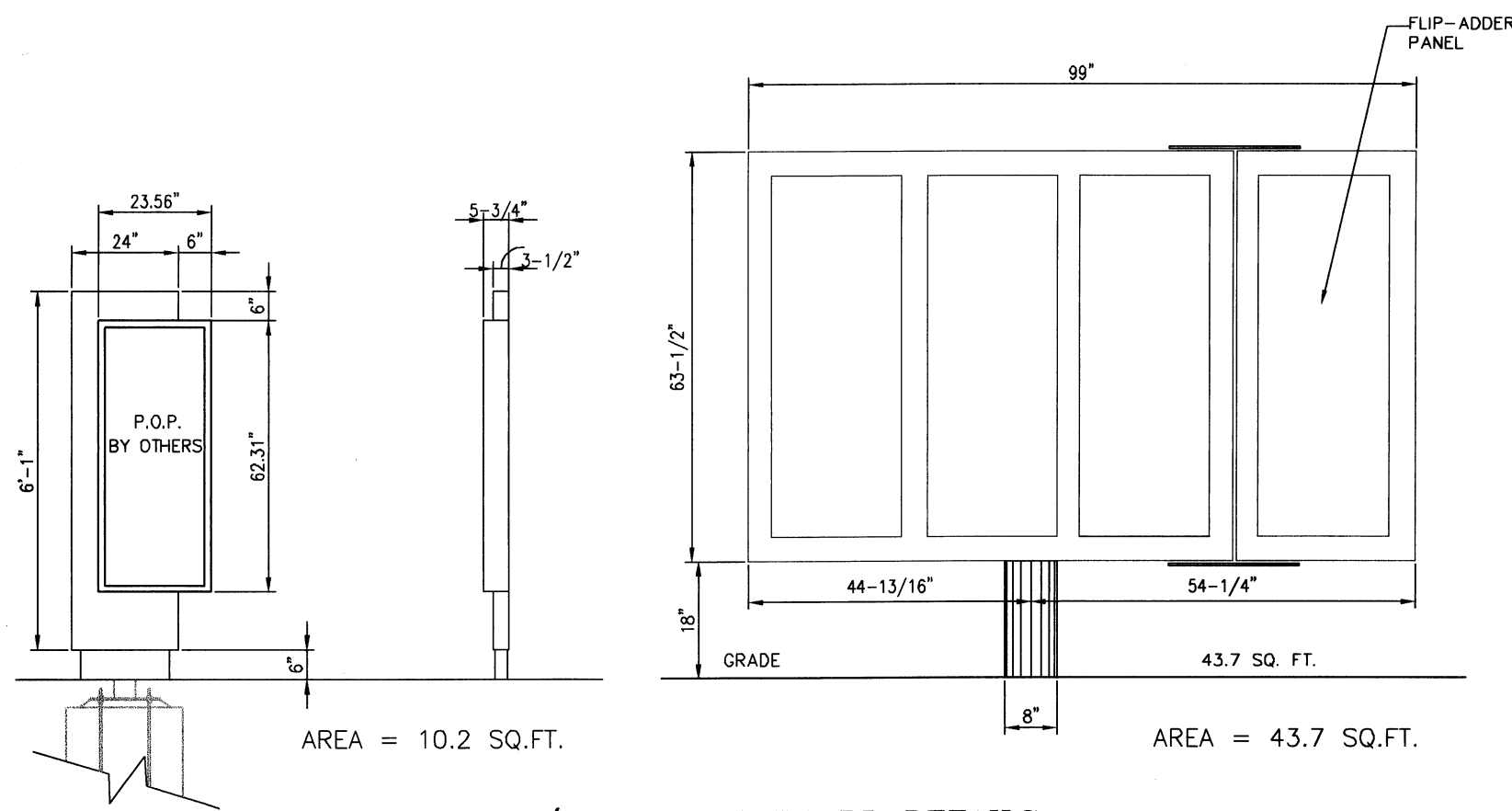
**PRELIMINARY**  
NOT TO BE USED FOR CONSTRUCTION

**J. MICICH**  
JAMES MICICH  
PROF. REG. NO. 41530  
CIVIL ENGINEER  
MASSACHUSETTS

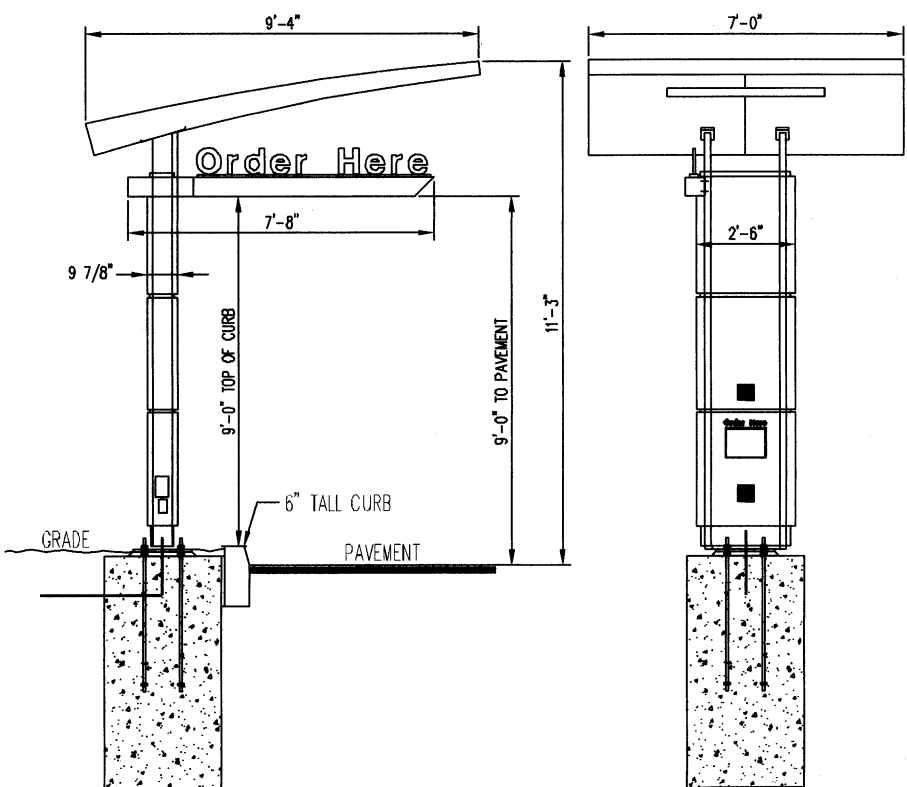
STREET ADDRESS <b>14 McGRATH O'BRIEN HIGHWAY</b>	
CITY <b>SOMERVILLE</b>	STATE <b>MA</b>
COUNTY <b>SUFFOLK COUNTY</b>	
NATIONAL STORE NUMBER <b>-</b>	PLAN SURVEY BASED CONCEPT PLAN



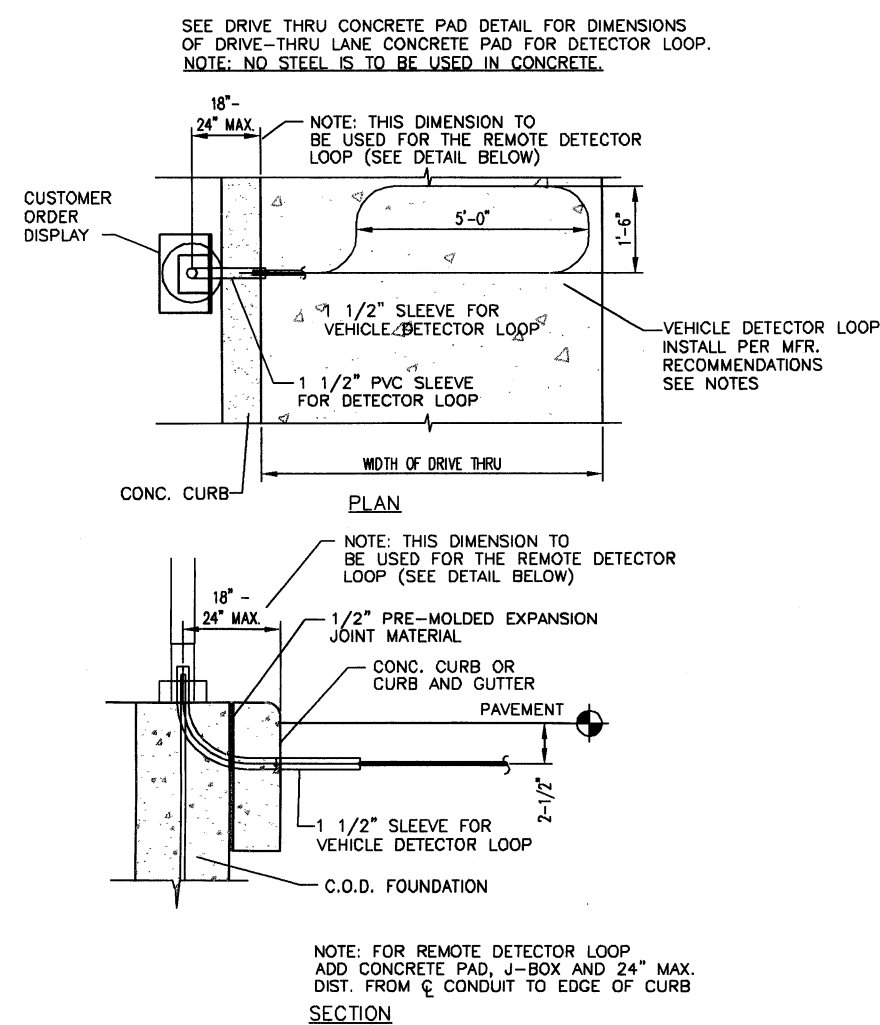
**GATEWAY CLEARANCE BAR DETAIL**  
NOT TO SCALE  
(NOTE: FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.  
CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR)



**MENU / PRE-SELL BOARD DETAILS**  
NOT TO SCALE  
(NOTE: FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.  
CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR.)  
(NOTE: REFER TO DRIVE THRU DETAIL FOR LOCATION AND ORIENTATION.)



**CUSTOMER ORDER DISPLAY DETAIL**  
NOT TO SCALE  
(NOTE: FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.  
CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR)



**AUTO DETECTOR LOOP DETAIL**  
NOT TO SCALE

- "RED" DRIVE THRU STANDARDS:**
- USE OF A GATEWAY SIGN IS A RED STANDARD. IT SHOULD BE LOCATED AT THE DRIVE THRU ENTRANCE BASED ON FIELD CONDITIONS. THE FOOTING IS 18"-24" FROM THE FACE OF THE CURB.
  - DRIVE THRU STRIPING SHOULD START AT THE BEGINNING OF THE DRIVE THRU LANE.
  - USE OF A PRE-SELL BOARD IS "YELLOW", BUT ITS LOCATION IS "RED", AND MUST BE 30' FROM THE C.O.D., AND THE EDGE OF THE BOARD SHOULD BE 18"-24" FROM THE FACE OF THE CURB (12" MIN.).
  - USE AND LOCATION OF C.O.D. CANOPIES IS "RED". THE FACE OF THE C.O.D. SHOULD BE 17" FROM THE FACE OF CURB.
  - THE CENTER OF THE PRIMARY MENU BOARD IS TO BE 10' FROM THE CENTER OF THE C.O.D. FOUNDATION. THE ANGLE OF THE PRIMARY MENU BOARD SHOULD BE 40°-50°, AND THE ANGLE OF THE SECONDARY SHOULD BE 30°-40°, ALLOWING VISIBILITY FROM THE FIRST AND SECOND CARS IN LINE AT THE C.O.D. THE MENU BOARD END CAP SHOULD BE 18"-24" FROM THE FACE OF CURB.
  - THE LENGTH OF THE ISLAND SHOULD BE BETWEEN 35'-FT AND 42'-FT.
  - THE WIDTH OF THE DRIVE THROUGH ISLAND SHOULD NOT BE LESS THAN 13'-FT AT THE WIDEST POINT.
  - THE CENTER OF THE SECONDARY MENU BOARD FOOTING SHOULD BE 22" FROM THE FACE OF CURB ON THE OUTSIDE OF THE PRIMARY LANE, AND 6'-FT FROM THE TIP OF THE ISLAND.
  - THE CENTERLINE OF THE SECONDARY C.O.D. SHOULD BE 11'-FT TO 13'-FT FROM THE TIP OF THE ISLAND.
  - THE END CAP OF THE SECONDARY MENU BOARD SHOULD BE 18" FROM THE FACE OF CURB.
  - THE DISTANCE BETWEEN THE TIP OF THE ISLAND AND THE CENTER OF THE PRIMARY C.O.D. MUST BE BETWEEN 10'-FT AND 15'-FT.
  - THE DISTANCE FROM THE CENTER OF THE OPENED CASHIER WINDOW TO THE CENTER OF THE PRIMARY C.O.D. SHOULD BE 60', 80' OR 100'.
  - THE MINIMUM RADIUS ON ALL DRIVER SIDE CURBING IS 20'.

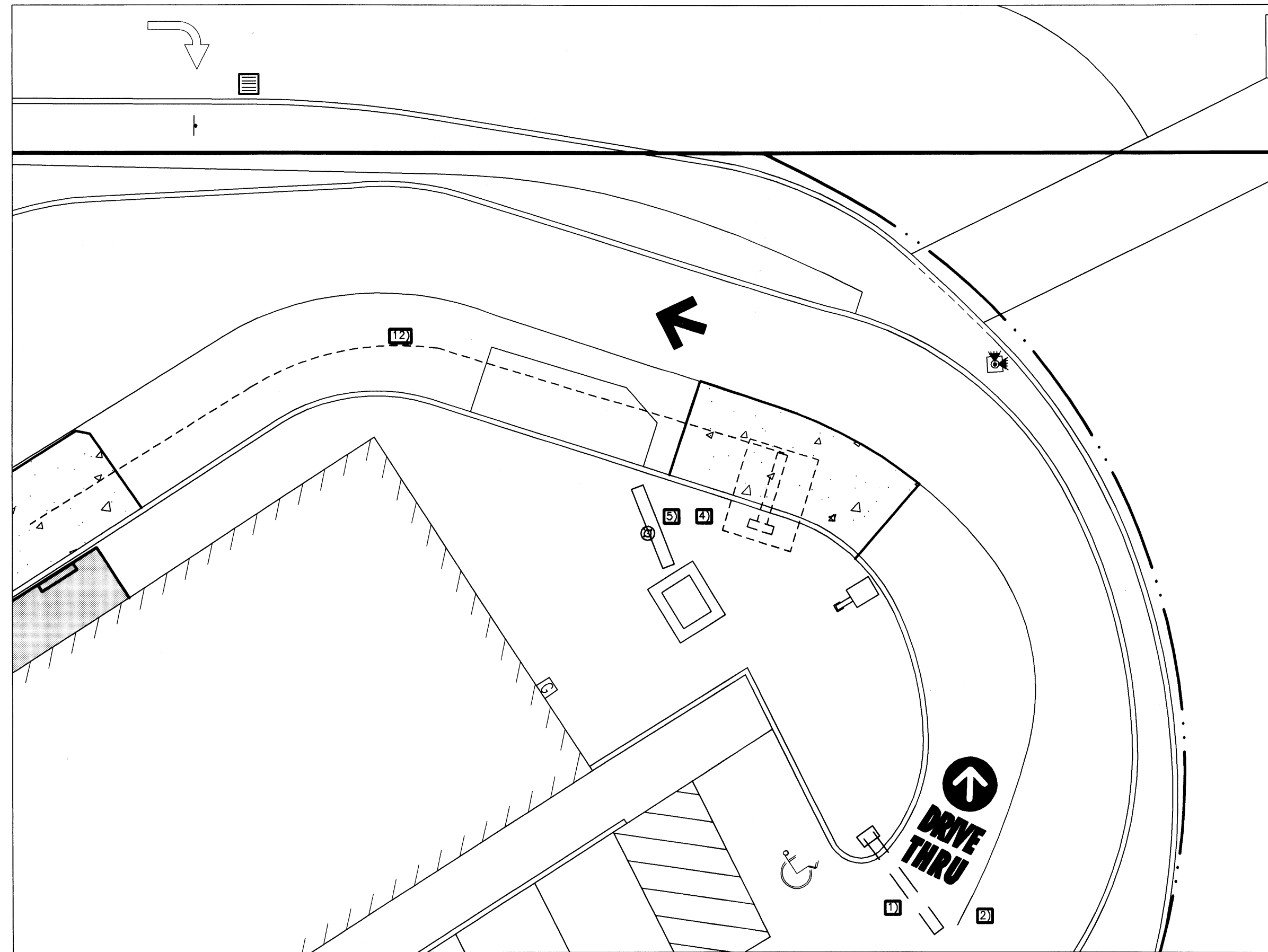
NOTE:  
ANGULAR DIMENSIONS ON MENU AND PRE-SELL BOARDS ARE MEASURED BETWEEN THE REAR BUILDING WALL AND THE PANEL OF THE BOARD.

NOTE:  
THE PLACEMENT OF THE C.O.D. SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

NOTE:  
LINEAR DIMENSIONS ARE MEASURED PERPENDICULAR TO THE BUILDING FACES SHOWN UNLESS OTHERWISE NOTED.

NOTE:  
ALL SIGN BOLLARDS ARE TO BE 18"-24" FROM FACE OF CURB. THIS IS MEASURED FROM THE CLOSEST POINT ON THE SIGN.

THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.



**DOUBLE DRIVE-THRU**  
SCALE: 1"=20'

**BOHLER ENGINEERING**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
TEL (508) 445-0000  
FAX (508) 445-0000  
www.bohler-engineering.com

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MASS REGISTERED PROFESSIONAL ENGINEERS  
LICENSE NO. 004530

CONSTRUCTION CHECK DATE  
CONSTRUCTION CHECK DATE

PROJECT No. W082033  
CAD I.D. # W082033sbcc0.dwg

**J.A. BOHLER**  
MASS REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 004530

**PRELIMINARY**  
NOT TO BE USED FOR CONSTRUCTION

STREET ADDRESS 14 McGRATH O'BRIEN HIGHWAY		STATUS PRELIMINARY	DATE -	BY -
CITY SOMERVILLE		PLAN CHECKED AS-BUILT	DATE 10/20/10	BY -
STATE MA		DRAWN BY: JAK	DATE: 10/20/10	BY: -
COUNTY SUFFOLK COUNTY		CHECKED BY: JAK	SCALE: 1"=20'	BY: -
NATIONAL STORE NUMBER -	PLAN DESCRIPTION DETAILS SHEET	SHEET NO. <b>D-1</b> 1 OF 2		

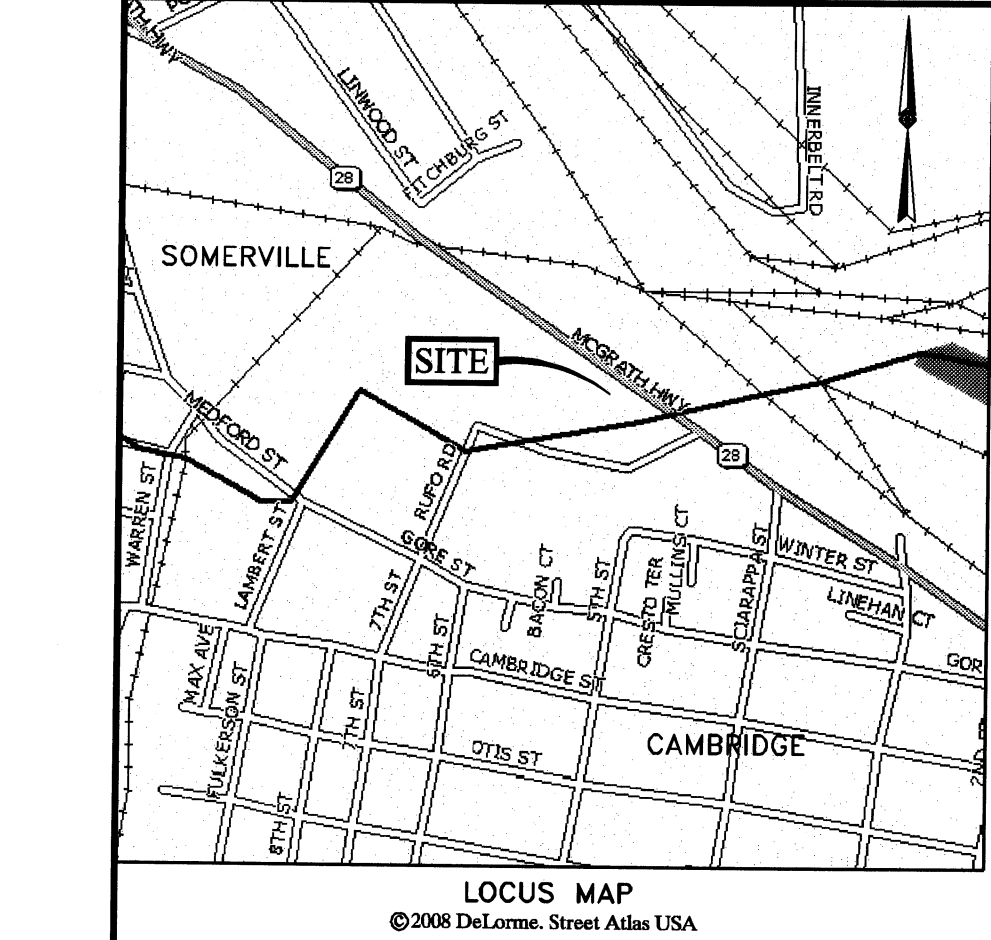
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OFFICE  
NORTHEAST REGION  
690 CANTON STREET  
WESTWOOD, MA 02090 (781) 329-1450

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

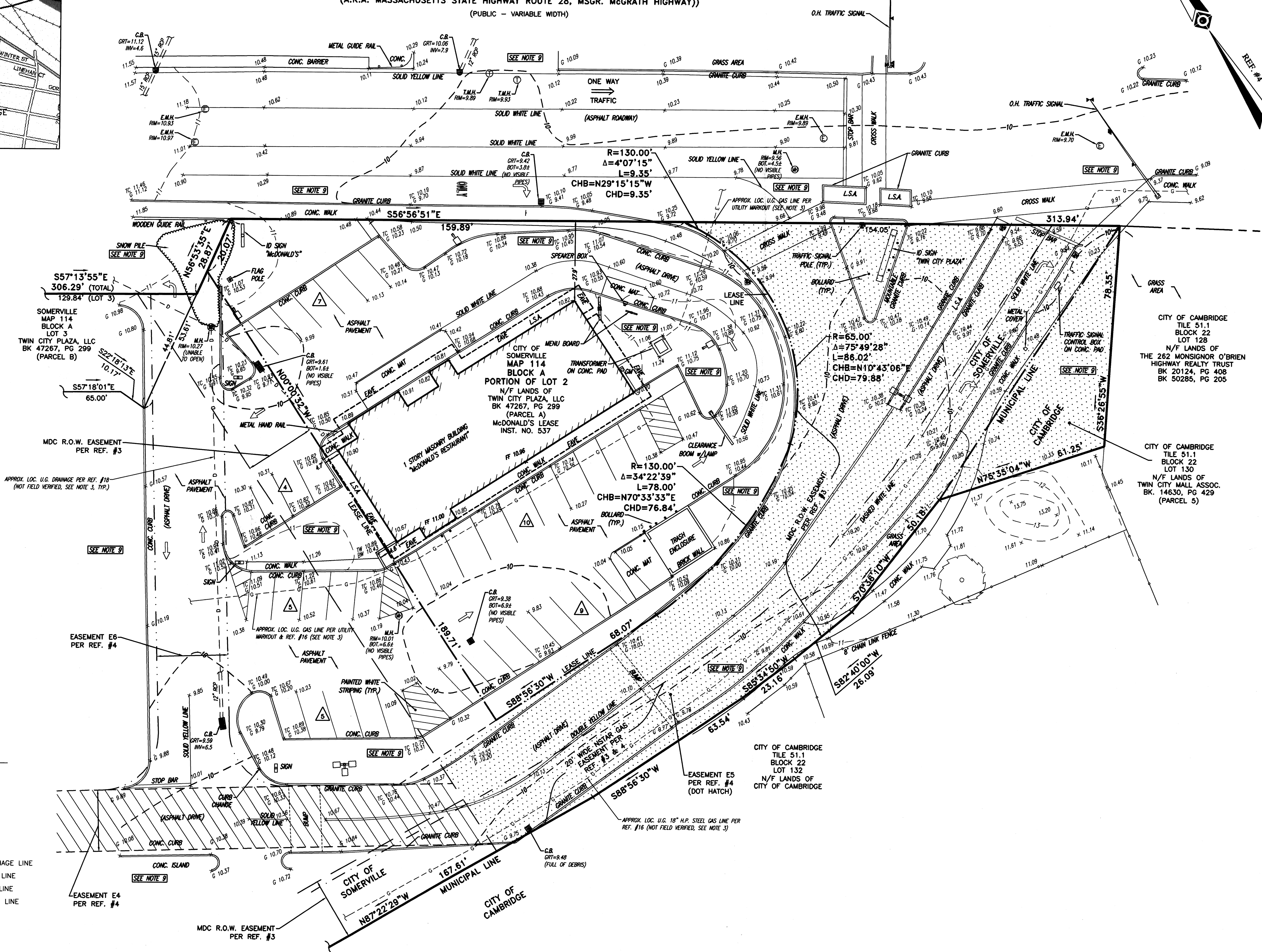
STATUS PRELIMINARY	DATE -	BY -
PLAN CHECKED AS-BUILT	DATE 10/20/10	BY -
DRAWN BY: JAK	DATE: 10/20/10	BY: -
CHECKED BY: JAK	SCALE: 1"=20'	BY: -
SHEET NO. <b>D-1</b> 1 OF 2		





# McGRATH HIGHWAY

(A.K.A. MASSACHUSETTS STATE HIGHWAY ROUTE 28, MSGR. McGRATH HIGHWAY)  
(PUBLIC - VARIABLE WIDTH)



LEGEND	
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXIST. TOP OF CURB ELEVATION
---	EXIST. TOP OF WALL ELEVATION
---	EXIST. TOP OF FLOOR ELEVATION
---	EXIST. FINISHED FLOOR ELEVATION
---	APPROX. LOC. UNDERGROUND DRAINAGE LINE
---	APPROX. LOC. UNDERGROUND SAN. LINE
---	APPROX. LOC. UNDERGROUND GAS LINE
---	APPROX. LOC. UNDERGROUND ELEC. LINE
---	TRAFFIC SIGNAL POLE
---	TRAFFIC SIGNAL
---	GAS METER
---	SIGN
---	BOLLARD
---	WOODEN GUIDE RAIL
---	AREA LIGHT
---	PAINTED ARROWS
---	LANDSCAPED AREA
---	UNDER GROUND
---	CATCH BASIN/INLET
---	ELECTRIC MANHOLE
---	TELEPHONE MANHOLE
---	UNKNOWN MANHOLE
---	DECIDUOUS TREE & TRUNK SIZE
---	PARKING SPACE COUNT
---	DEPRESSED CURB
---	DEED DESIGNATION

## UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE MASSACHUSETTS DIG SAFE SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 2008-5103646V

UTILITY COMPANY	
AT&T	617-225-3935
NSTAR GAS & ELEC.	800-592-2000
LEVEL 3 COMMUNICATION	617-338-5406
MBTA	617-222-5415
LIGHTTOWER	978-264-6000
VERIZON	617-780-6898
KEYSPAN-BOSTON GAS	617-742-8400
COMCAST	617-562-4200
AVOVENET	781-530-3667
MAVERICK CONSTRUCTION	617-268-6550
ALCONQUIN GAS	617-254-4050
SOMERVILLE DPW	617-666-3311
RCA	781-316-8800

PHONE NUMBER	
AT&T	617-225-3935
NSTAR GAS & ELEC.	800-592-2000
LEVEL 3 COMMUNICATION	617-338-5406
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LIGHTTOWER	978-264-6000
VERIZON	617-780-6898
KEYSPAN-BOSTON GAS	617-742-8400
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MAVERICK CONSTRUCTION	617-268-6550
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SOMERVILLE DPW	617-666-3311
RCA	781-316-8800



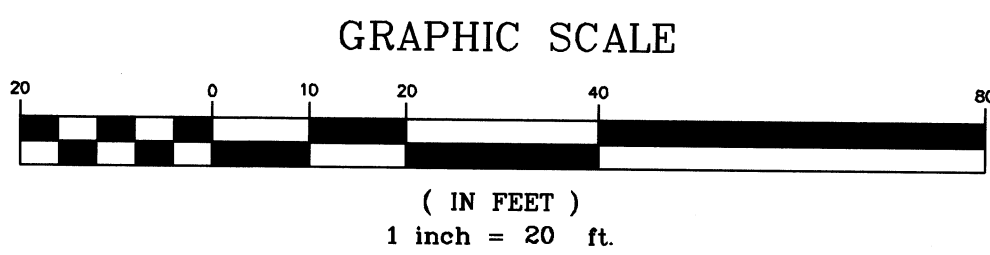
THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

## NOTES:

- LOCUS KNOWN AS PORTION OF LOT 2, MAP 114, AS SHOWN ON THE ASSESSOR'S MAP OF THE CITY OF SOMERVILLE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS.
- MCDONALD'S LEASE AREA = 23834 S.F. OR 0.547 AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY AVAILABLE ASBUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE C (AREAS OF MINIMAL FLOODING) PER REF. #2.
- ELEVATIONS ARE BASED UPON REF. #3, REPUTED TO BE NGVD 1929.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THIS SURVEY WAS PERFORMED DURING A PERIOD WHEN THE GROUND WAS SNOW COVERED. UTILITY STRUCTURES AND SITE FEATURES HAVE BEEN LOCATED AND IDENTIFIED WHICH WERE VISIBLE ON THE DATE OF THE FIELD SURVEY. REMOVAL OF THIS NOTE FROM THE SURVEY WILL REQUIRE A LATER SITE VISIT AFTER THE SNOW HAS MELTED.

## REFERENCES:

- THE ASSESSOR'S MAP OF THE CITY OF SOMERVILLE, MAP 114 & THE CITY OF CAMBRIDGE, TILE NO. 51.1, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, CITY OF SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY, PANEL 2 OF 2", COMMUNITY-PANEL NUMBER 250214 0002 B, EFFECTIVE DATE: JULY 17, 1986.
- MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY, TWIN CITY PLAZA AT GORE STREET IN CAMBRIDGE AND SOMERVILLE, MA. PREPARED FOR SHAW'S SUPERMARKET C/O VALERIE M. LARNE, ESQ., GOLDSTEIN KATZ & FELLMAN, LLP, WATERMILL CENTER, 800, SOUTH STREET, SUITE 395, WALTHAM, MA 02453," PREPARED BY DAYLOR CONSULTING GROUP, INC., DATED: JUNE 28, 2002, LAST REVISED ON JULY 9, 2002.
- MAP ENTITLED "EASEMENTS PLAN, LAND IN CAMBRIDGE AND SOMERVILLE, MA, PREPARED FOR CHARTER REALTY & DEVELOPMENT CORPORATION, 411 W. PUTNAM AVE., SUITE 111, GREENWICH, CT 06830," PREPARED BY DAYLOR CONSULTING GROUP, INC., DATED: JANUARY 12, 2001, LAST REVISED ON MARCH 7, 2005 AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON MARCH 24, 2005 AS PLAN NO. 340 (1 & 2 OF 2) OF 2005.
- MAP ENTITLED "COMPILED PLAN OF LAND IN SOMERVILLE, MASS.," PREPARED BY BOSTON SURVEY CONSULTANTS, DATED: OCTOBER 3, 1969, LAST REVISED OCTOBER 22, 1969, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON OCTOBER 31, 1969, AS PLAN NO. 1182 OF 1969 WITH DEED DOC. NO. 207 IN BOOK 11760, PAGE 548.
- MAP ENTITLED "PLAN OF LAND IN CAMBRIDGE, MASS.," PREPARED BY WILLIAM S. CROCKER, INC., DATED: NOVEMBER 21, 1963, LAST REVISED DECEMBER 18, 1963, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON JANUARY 22, 1964, AS PLAN NO. 73 OF 1964 WITH DEED DOC. NO. 141 IN BOOK 10449, PAGE 197.
- MAP ENTITLED "SUBDIVISION OF LAND IN CAMBRIDGE & SOMERVILLE, MASS., OWNED BY JOHN M. RUFO ASSOCIATES, INC.," PREPARED BY JOHN M. RUFO ASSOCIATES, INC., DATED: DECEMBER 2, 1964 AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON JANUARY 13, 1965, AS PLAN NO. 47 OF 1965 WITH DEED DOC. NO. 131 IN BOOK 10734, PAGE 306.
- MAP ENTITLED "SUBDIVISION OF CITY OF CAMBRIDGE LAND, GORE ST., CAMBRIDGE, MASS.," PREPARED BY JAMES F. RICE, JR., DATED: JUNE 16, 1980, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON JANUARY 30, 1981, AS PLAN NO. 103 OF 1981 WITH DEED DOC. NO. 290 IN BOOK 14204, PAGE 547.
- MAP ENTITLED "SUBDIVISION PLAN OF LAND, CAMBRIDGE, MASS.," PREPARED BY FRED R. JOYCE, SURVEYOR, DATED: OCTOBER 5, 1970, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON DECEMBER 11, 1974, AS PLAN NO. 1366 OF 1974 WITH DEED DOC. NO. 72 IN BOOK 12736, PAGE 672.
- MAP ENTITLED "SUBDIVISION PLAN OF LAND FOR CITY OF CAMBRIDGE, MASS.," PREPARED BY FRED R. JOYCE, SURVEYOR, DATED: NOVEMBER 18, 1968, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON JANUARY 24, 1969, AS PLAN NO. 83 OF 1969 WITH IN BOOK 11635, PAGE END.
- MAP ENTITLED "PLAN OF LAND IN SOMERVILLE, MASS., OWNED BY SWIFT & COMPANY," PREPARED BY DANA F. PERKINS & SONS, INC., DATED: DECEMBER 20, 1961, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON DECEMBER 29, 1961, AS PLAN NO. 1906 OF 1961 WITH DEED DOC. NO. 356 IN BOOK 9962, PAGE 408.
- MAP ENTITLED "PLAN OF LAND FOR M.D.C. SKATING RINK, CAMBRIDGE, MASS., SOMERVILLE, MASS.," PREPARED BY FRED R. JOYCE, SURVEYOR, DATED: NOVEMBER 24, 1969, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON JANUARY 29, 1970, AS PLAN NO. 92 OF 1970 WITH DEED DOC. NO. 75 IN BOOK 11795, PAGE 306.
- MAP ENTITLED "PLAN OF LAND IN CAMBRIDGE & SOMERVILLE, MASS. PREPARED FOR LARSON ASSOCIATES," PREPARED BY THE MALCOLM M. JOHNSTON CO., INC., DATED: FEBRUARY 16, 1989, AND RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS, SOUTHERN DISTRICT ON FEBRUARY 23, 1989, AS PLAN NO. 191 OF 1989 WITH DEED DOC. NO. 354 IN BOOK 19863, PAGE 475.
- MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE CITY OF SOMERVILLE, MIDDLESEX COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," DATED: DECEMBER 7, 1948.
- MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE CITY OF CAMBRIDGE, MIDDLESEX COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," DATED: DECEMBER 7, 1948, LAYOUT NO. 3614.
- MAPS SHOWING ELECTRICAL AND GAS FACILITIES IN THE AREA PROVIDED BY NSTAR ELECTRIC AND GAS.
- MAPS SHOWING WATER AND SEWER FACILITIES IN THE AREA PROVIDED BY THE CITY OF SOMERVILLE ENGINEERING DEPARTMENT.
- MAP ENTITLED "SITE UTILITY PLAN, TWIN CITY PLAZA IN CAMBRIDGE AND SMERVILLE, MA, PREPARED FOR CAMBRIDGE CHARTER REALTY I, LLC, 411 WEST PUTNAM AVENUE, SUITE 111, GREENWICH, CT, 06830-623," PREPARED BY DAYLOR CONSULTING GROUP, INC., REVISED ON SEPTEMBER 12, 2002.

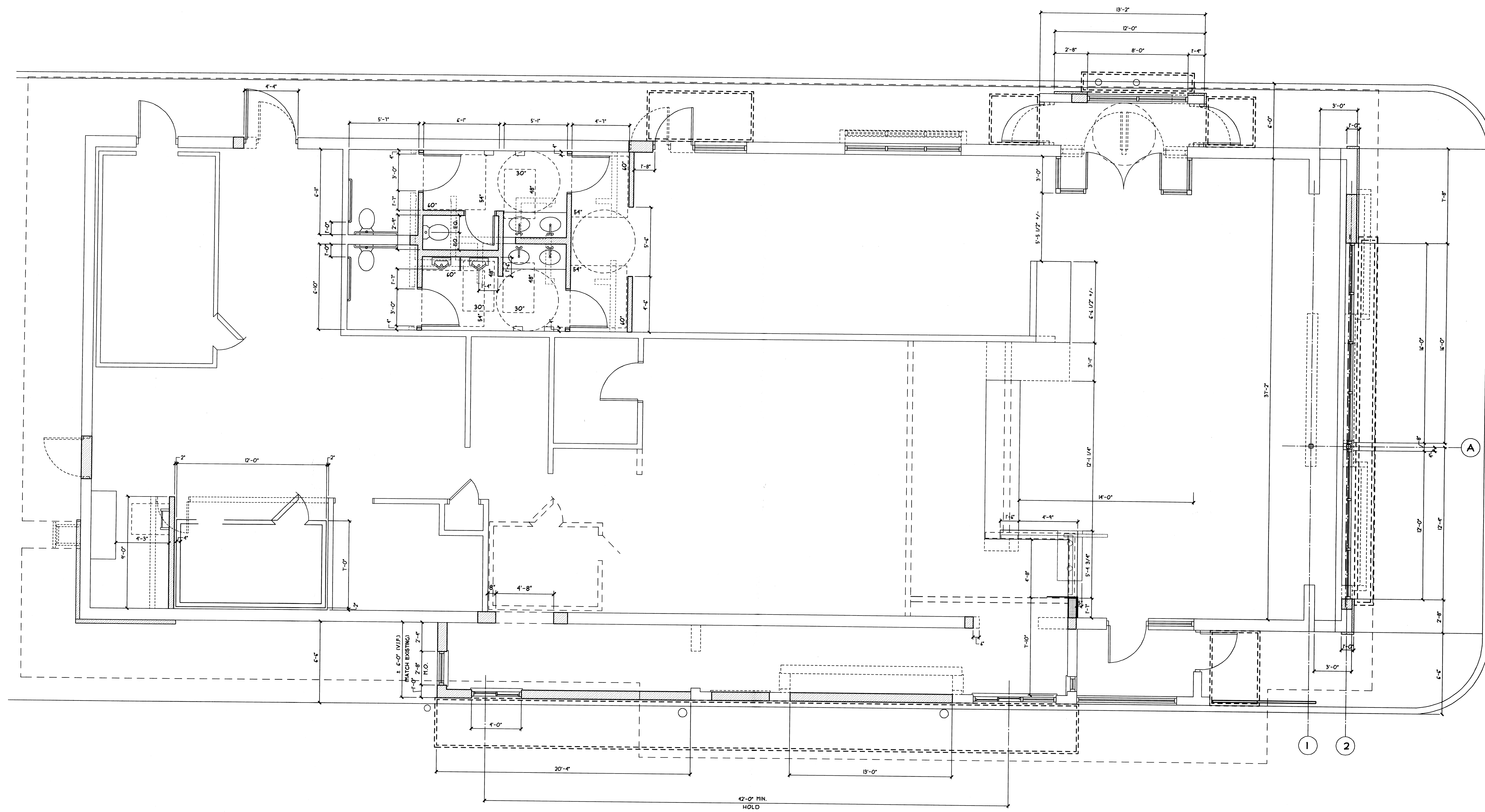


THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

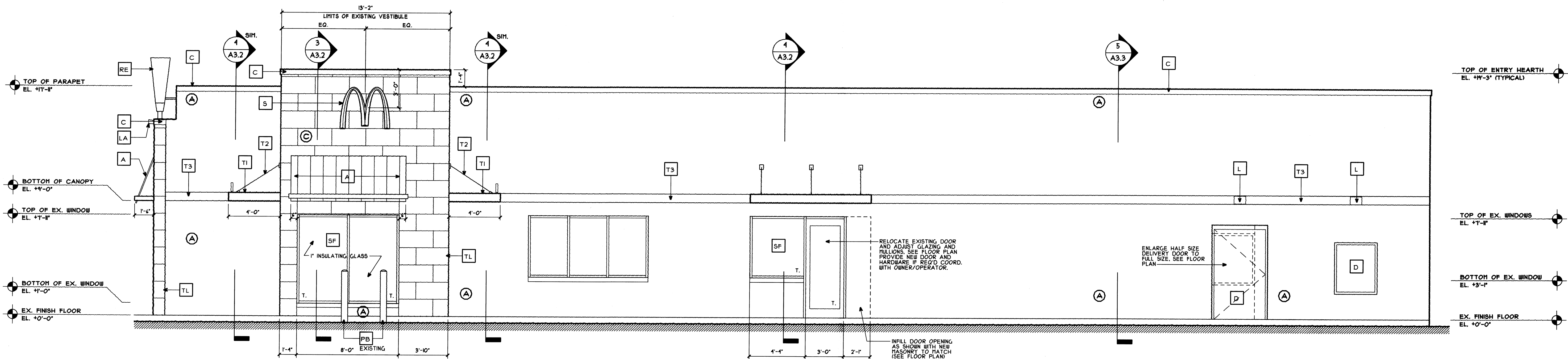
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.

**GREGORY S. GALLAS**  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #40762

FIELD DATE 12-22-08 1-2-09	BOUNDARY & TOPOGRAPHIC SURVEY <b>McDONALD'S USA, LLC</b> 14 McGRATH HIGHWAY PORTION OF LOT 2, MAP 114 CITY OF SOMERVILLE, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS L/C #020-0252
FIELD BOOK NO. 08-36	
FIELD BOOK PG. 70 61-62	
FIELD CREW B.S.B./G.C.	<b>CONTROL POINT ASSOCIATES, INC.</b> 33 TECHNOLOGY DRIVE WARREN, NJ 07059 908.668.0099 - 908.668.9595 FAX
DATE J.D.B.	SCALE 1"=20'
REVIEWED W.P.H.	FILE NO. C08438
APPROVED J.D.B.	FILE NO. 1 OF 1

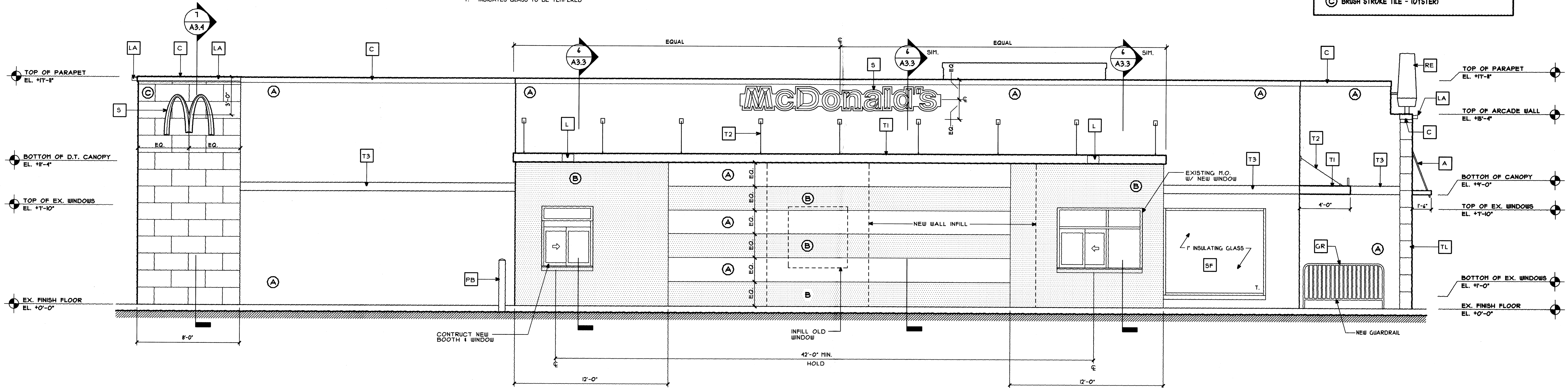






1 RIGHTSIDE ELEVATION  
FACES MALL ACCESS DRIVE  
SCALE: 1/4"=1'-0"

FINISH LEGEND	
A	PAINT BASE BUILDING - "AZTEC BRICK" #2115-10
B	PAINT ACCENT COLOR - "EARTHY RUSSET" #2113-10
C	BRUSH STROKE TILE - (OYSTER)



2 LEFTSIDE ELEVATION  
DRIVE-THRU ELEVATION  
SCALE: 1/4"=1'-0"

KEY NOTES: (TYPICAL WHERE SHOWN)

A	METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123U AND 109U	CJ	CONTROL JOINT
BH	BUILDING MATERIAL	D	HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
BB	COLOR: BB = BASE BUILDING DT = DRIVE THRU BANDING PB = PARAPET BAND	E	EXT. INSULATION FINISH SYSTEM (E.I.F.S.)
C	METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL MATCH	GR	GUARD RAIL
		L	LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
		LA	LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL

HL	METAL LETTERING - BY OTHERS	S	MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
PB	PIPE BOLLARD - PAINTED YELLOW	SF	NEW STORE FRONT & GLAZING
PT	PASS-THRU COIN COLLECTOR - OPTIONAL (R/H/C)	T1	ALUMINUM TRELLIS
RD	RAIN DIVERSERS	T2	ALUMINUM TRELLIS TIE-BACK
RE	ROOF CAP ELEMENT BY OTHERS	T3	ALUMINUM TRELLIS 2x8 WALL FASCIA
RO	ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL	TL	BRUSH STROKE TILES (IRIS U.S.) BY EUROWEST DECORATIVE SURFACES CONTACT: JAN DETER 114.931.1500

COLOR LEGEND (ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)		
TERRA COTTA SCHEME	ARCADIES & HEARTH	BRUSH STROKE TILE - (OYSTER)
	BASE BUILDING	GAZTEC BRICK #2115-10
	DRIVE THRU BANDING	EARTHY RUSSET #2113-10

SIGNAGE SUPPORT NOTE:  
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH MCDONALD'S AREA CONSTRUCTION MANAGER AND COORD. WITH SIGN MANUFACTURER.

REVISIONS

NO.	DATE	BY
1		
2		
3		
4		
5		
6		
7		

Landry ARCHITECTS

300 MAIN STREET, SUITE 200  
SOMERVILLE, MA 01906  
P: 603.860.0414 F: 603.860.4356

DRAWN BY: P.F.

CHECKED BY: T.B.D.

DATE DRAWN: 05/18/10

DATE ISSUED: 06/11/10

SCALE: AS NOTED

JOB NUMBER: M-1199

CONSULTANT:

EXTERIOR ELEVATIONS

McDonald's

RESTAURANT LOCATION:

Twin City Plaza - McGrath Highway  
SOMERVILLE, MA

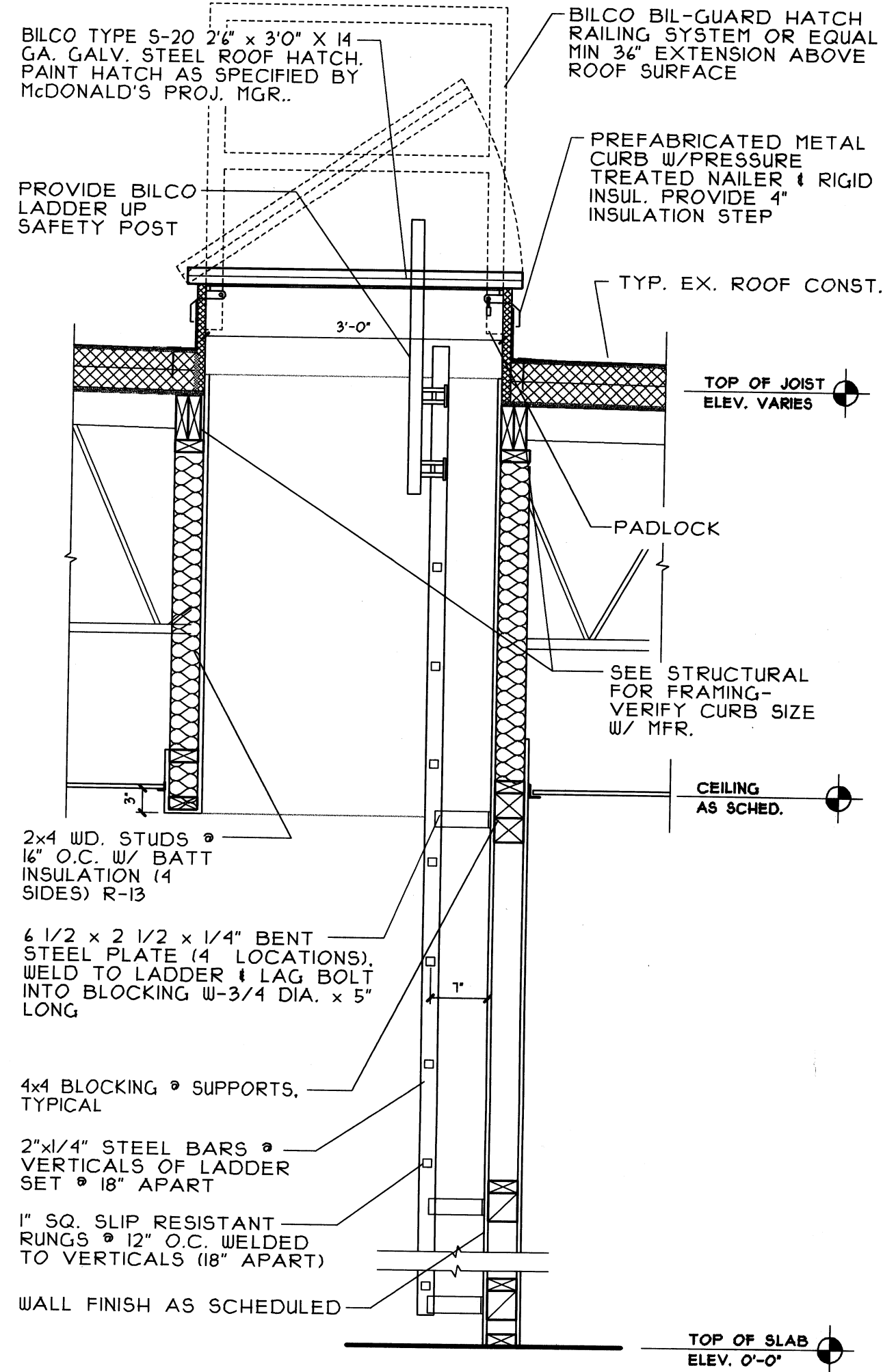
PREPARED FOR:

McDonald's USA, LLC  
MCDONALD'S PLAZA  
OAK BROOK, ILLINOIS 60521

SHEET NUMBER:

A2.0



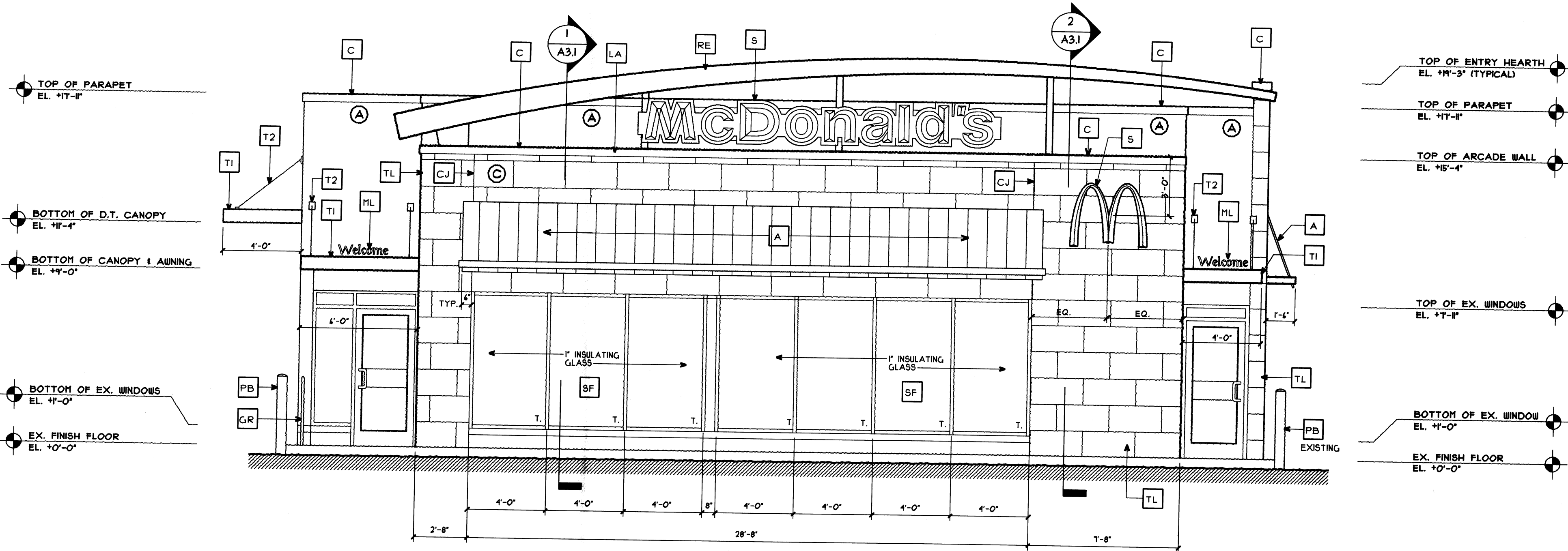


**A SECTION • INTERIOR LADDER**  
SCALE 3/4" = 1'-0"

KEY NOTES: (TYPICAL WHERE SHOWN)

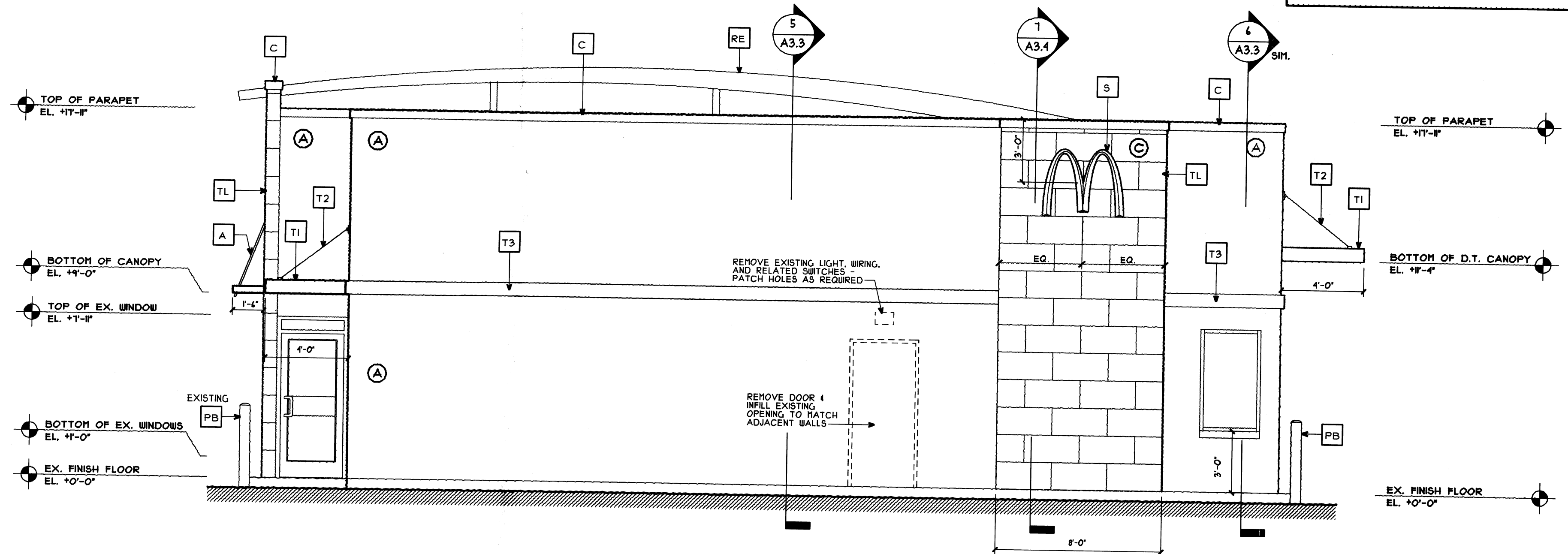
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|---|---|
| <b>A</b> METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123U AND 109U | <b>CJ</b> CONTROL JOINT   |
| <b>BB</b> BUILDING MATERIAL   | <b>D</b> HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL |
| <b>BB</b> COLOR:<br>BB = BASE BUILDING<br>DT = DRIVE THRU BANDING<br>PB = PARAPET BAND                        | <b>E</b> EXT. INSULATION FINISH SYSTEM (E.I.F.S.)                         |
| <b>C</b> METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL   | <b>GR</b> GUARD RAIL  |
|   | <b>L</b> LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL                     |
|   | <b>LA</b> LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL                   |

- |  |  |
|--|--|
| <b>ML</b> METAL LETTERING - BY OTHERS                                  | <b>S</b> McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.   |
| <b>PB</b> PIPE BOLLARD - PAINTED YELLOW                                | <b>SF</b> NEW STORE FRONT & GLAZING  |
| <b>PT</b> PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)                   | <b>T1</b> ALUMINUM TRELLIS   |
| <b>RD</b> RAIN DIVERTERS   | <b>T2</b> ALUMINUM TRELLIS TIE-BACK  |
| <b>RE</b> ROOF CAP ELEMENT BY OTHERS                                   | <b>T3</b> ALUMINUM TRELLIS 2x8 WALL FASCIA   |
| <b>RO</b> ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL | <b>TL</b> BRUSH STROKE TILES (IRIS U.S.) BY EUROWEST DECORATIVE SURFACES CONTACT: JAN DETEK 714-931-1500 |



**1 FRONT ELEVATION**  
FACES PARKING LOT  
SCALE: 1/4" = 1'-0"

FINISH LEGEND	
<b>A</b>	PAINT BASE BUILDING - "AZTEC BRICK" #2175-10
<b>B</b>	PAINT ACCENT COLOR - "EARTHY RUSSET" #2173-10
<b>C</b>	BRUSH STROKE TILE - (OYSTER)



**2 REAR ELEVATION**  
FACES McGRATH HIGHWAY  
SCALE: 1/4" = 1'-0"

COLOR LEGEND (ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)		
TERRA COTTA SCHEME	ARCADES & HEARTH	BRUSH STROKE TILE - (OYSTER)
	BASE BUILDING	GAZTEC BRICK #2175-10
	DRIVE THRU BANDING	EARTHY RUSSET #2173-10

**SIGNAGE SUPPORT NOTE:**  
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORD. WITH SIGN MANUFACTURER.

REVISIONS	
NO.	DATE
1	
2	
3	
4	
5	
6	
7	

**Landry ARCHITECTS**  
380 MAIN STREET, SUITE 101, DORSET, NH 03826  
P: 603.890.6414 F: 603.894.4356

DATE ISSUED: 06/11/10  
CHECKED BY: T.B.D.  
DATE DRAWN: 05/18/10

AS NOTED  
JOB NUMBER: M-1199

CONSULTANT:

EXTERIOR ELEVATIONS

SHEET TITLE:

RESTAURANT LOCATION:  
Twin City Plaza - McGrath Highway  
SOMERVILLE, MA

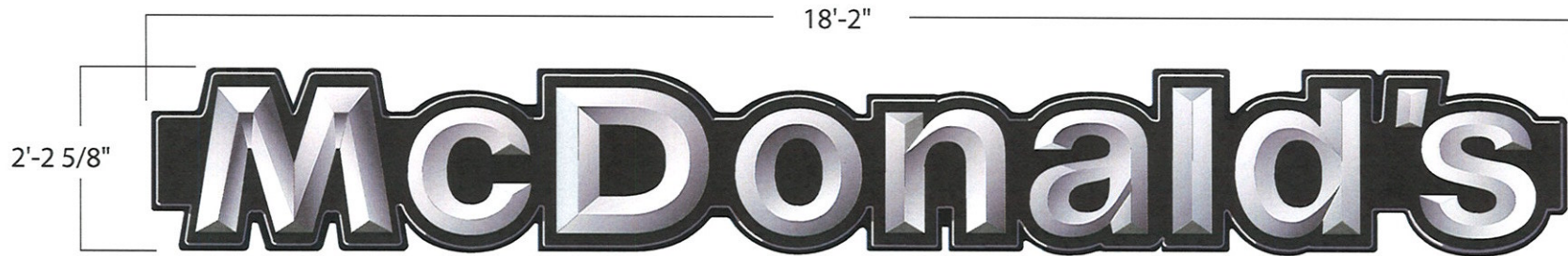
PREPARED FOR:  
**McDonald's USA, LLC**  
McDONALD'S PLAZA  
OAK BROOK, ILLINOIS 60051

SHEET NUMBER:  
**A2.1**

**McDonald's**

## UNIBODY FASCIA ELEMENTS

- Raceway Mount Formed Kydex Housing
- Formed Acrylic Faces
- H.O. Fluorescent Illumination
- Raceway Painted Grey



**FRONT / DRIVE THRU UNIBODY ELEMENTS**

*Actual Square Footage: 31.32*

<b>Account</b>	McDonalds High Impact	<b>Drawn By</b>	B. Smith
<b>Project Title</b>	Unibody Fascia Elements	<b>IP Rep.</b>	Ann Baker
<b>Scale</b>	nts	<b>Approved By</b>	
<b>Date Created</b>	24 Mar 04	<b>Date Revised</b>	2 July 04

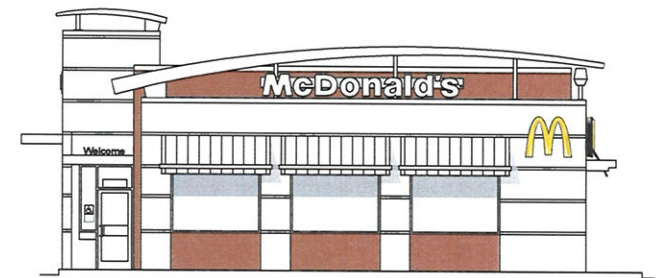
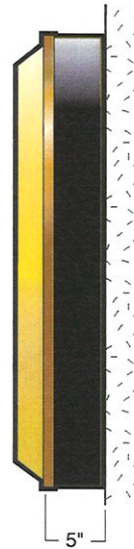
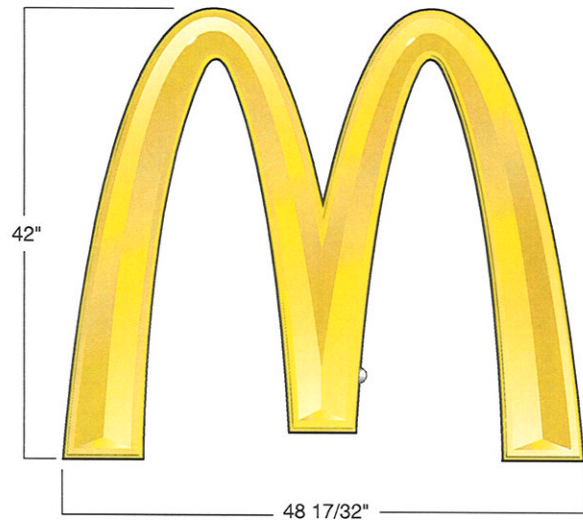
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 Knoxville, TN 37950-8043  
 1-800-444-7440  
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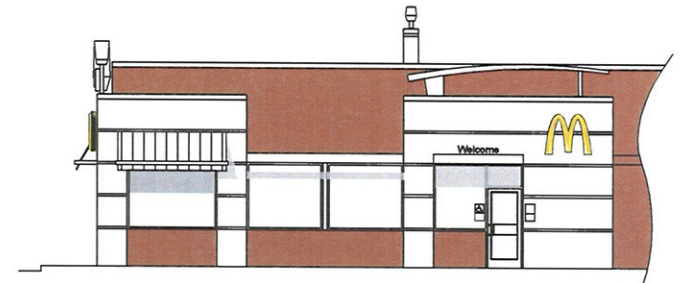


## SPECIFICATIONS

- *Surface Mount, Fabricated Metal Housing*
- *Housing finish: Black*
- *Formed/Embossed Acrylic Faces*
- *H.O. Fluorescent Illumination*



Front Elevation



Right Elevation

**48" BUILDING ARCH - New Construction**

*Actual Square Footage: 5.5*

<b>Account</b>	McDonalds High Impact	<b>Drawn By</b>	B. Smith
<b>Project Title</b>	48" Logo Wall Arch	<b>ImagePoint Rep.</b>	Ann Baker
<b>Scale</b>	1:16	<b>Approved By</b>	
<b>Date Created</b>	24 Mar 04	<b>Date Revised</b>	14 Oct 05

**ImagePoint.**

PO Box 59043  
Knoxville, TN 37950-9043  
1-800-444-7446  
www.imagepoint.com